



## WITH A 22FT OPEN PLAN LIVING SPACE!

This three bedroom semi-detached bungalow is ideally located on side of Sackville Road, Heaton. Sackville Road is well placed to provide easy access to the surrounding greenery and also the shops, cafes and restaurants of Chillingham Road, which are also just a short walk away. The property also benefits from good local transport links via the number one bus service which provides easy access into Newcastle City Centre and beyond.

The accommodation, set over two floors briefly comprises: entrance hall, open to an impressive 22ft open plan living space, with stripped wood flooring, under-stairs storage, three sky lights, sliding doors leading out to the rear garden, stairs to first floor, kitchen area with a range of fitted units, work surfaces and storage cupboard; bedroom one with walk in bay and stripped wood flooring; bedroom two with stripped wood flooring; bathroom complete with three piece suite and spot lighting. To the first floor, a full width bedroom measuring 21ft with stripped wood flooring and three Velux windows. Externally, gardens to both front and rear, the rear garden, generous in size and laid mainly to lawn with a mixture of mature planting including trees and bushes together with a paved BBQ area and enclosed with fenced boundaries. Early viewings are advised to avoid disappointment!

Semi-Detached Bungalow Over Two Floors | 1,106 Sq ft (102.8m<sup>2</sup>) | Three Bedrooms | Impressive 22ft Open Plan Living Space with Kitchen Area | Bathroom | Front & Rear Gardens | Popular Location | GCH | Freehold | Council Tax Band C | EPC: D

### Offers Over £260,000

**IMPORTANT NOTE:** These particulars and the descriptions and measurements herein do not constitute representation and whilst every effort has been made to ensure accuracy, this cannot be guaranteed.

